

District 4 Coal  
Heritage Hills  
Heritage East  
Vineyard Estates

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- ☐ Major Subdivision action
- ☐ Minor Subdivision action
- ☐ Vacation
- ☐ Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- ☐ for Subdivision
- ☒ for Building Permit
- ☐ Administrative Amendment (AA)
- ☐ IP Master Development Plan
- ☐ Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

### Supplemental form

### S Z ZONING & PLANNING

- ☐ Annexation
- ☐ County Submittal
- ☐ EPC Submittal
- ☐ Zone Map Amendment (Establish or Change Zoning)
- ☐ Sector Plan (Phase I, II, III)
- ☐ Amendment to Sector, Area, Facility or Comprehensive Plan
- ☐ Text Amendment (Zoning Code/Sub Regs)
- ☐ Street Name Change (Local & Collector)
- ☐ **APPEAL / PROTEST of...**
  - ☐ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): MODULUS ARCHITECTS PHONE: 338-1497 EXT. 110  
ADDRESS: 2325 SAN PEDRO NE, SUITE 2B FAX: 338-1498  
CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: STERN@MODULUSARCHITECTS.COM

APPLICANT: PETERSON INV-VENTURA LLC (DOUG PETERSON) PHONE: 884-3578  
ADDRESS: 2325 SAN PEDRO NE, SUITE 2A FAX: 884-6793  
CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: DOUG@PETERSONPROPERTIES.NET

Proprietary interest in site: OWNER List all owners: PETERSON INV-VENTURA LLC

DESCRIPTION OF REQUEST: APPROVAL OF 42 SQ. FT. WALL SIGN ON EXISTING WALGREN'S

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes ☒ No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. PARCEL C TRACT A Block:        Unit: A  
Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES  
Existing Zoning: SU-2/C-1 Proposed zoning: SU-2/C-1 MRGCD Map No         
Zone Atlas page(s): D-20 UPC Code: 102006324150520597

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):  
DRB PROJ. #1006602 (APPLICATION 08 DRB 70036)

### CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? ☒ No  
No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.6 AC ±  
LOCATION OF PROPERTY BY STREETS: On or Near: 8011 VENTURA (SOUTH 1/2 CORNER PASEO DEL  
Between: PALMAS NE and NORTE VENTURA ST)

Check-off if project was previously reviewed by Sketch Plat/Plan ☐, or Pre-application Review Team ☒. Date of review: 12-29-09

SIGNATURE [Signature] DATE 1-6-10  
(Print) SONATHAN STERN Applicant: ☐ Agent: ☒

### FOR OFFICIAL USE ONLY

- ☐ INTERNAL ROUTING
- ☐ All checklists are complete
- ☐ All fees have been collected
- ☐ All case #s are assigned
- ☐ AGIS copy has been sent
- ☐ Case history #s are listed
- ☐ Site is within 1000ft of a landfill
- ☐ F.H.D.P. density bonus
- ☐ F.H.D.P. fee rebate

### Application case numbers

10EPC-40003

### Action

ADBP  
APV  
CMF

Form revised 4/07

### S.F.

### Fees

PLI \$ 255.00  
\$ 15.00  
\$ 50.00  
\$         
\$         
Total  
\$ 380.00

Hearing date 2/18/10

Project #

Search, 4/10/10, 11/07/10

1006602

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

- ☐ **SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
- ☐ **IP MASTER DEVELOPMENT PLAN (EPC11)**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies**.
  - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Completed Site Plan for Subdivision and/or Building Permit Checklist
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- ☐ **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**

- ☐ **SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (EPC17)**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies**.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30 copies**
  - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision and/or Building Permit Checklist
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- NOTE:** For wireless telecom facilities (administrative reviews referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:
- Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - Registered Engineer's stamp on the Site Development Plans
  - Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- ☒ **AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
- ☐ **AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**

- ✓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30 copies**
- ✓ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30 copies**
- ✓ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30 copies**
- ✓ Site plans and related drawings reduced to 8.5" x 11" format **(1copy)**
- ✓ Zone Atlas map with the entire property(ies) clearly outlined
- ✓ Letter briefly describing, explaining, and justifying the request
- ✓ Letter of authorization from the property owner if application is submitted by an agent
- ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ✓ Sign Posting Agreement
- ✓ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ✓ TIS/AQIA Traffic Impact Study form with required signature
- ✓ Fee (see schedule)
- ✓ List any original and/or related file numbers on the cover application

**EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JONATHAN STERN  
Applicant name (print)  
[Signature] 1/7/10  
Applicant signature / date



Form revised October 2007

- ☐ Checklists complete
- ☐ Fees collected
- ☐ Case #s assigned
- ☐ Related #s listed

Application case numbers  
10 EPC-40003  
\_\_\_\_\_  
\_\_\_\_\_

Sandy Handberg 01/18/10  
Planner signature / date  
Project # 9006602

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: JONATHAN STERN DATE OF REQUEST: 1/7/10 ZONE ATLAS PAGE(S): D-20

CURRENT:

ZONING SU-2/C-1

PARCEL SIZE (AC/SQ. FT.) 1.6 AC±

LEGAL DESCRIPTION:

LOT OR TRACT # PARCEL C TRACT A BLOCK #

SUBDIVISION NAME NORTH ALBUQUERQUE ACRES

REQUESTED CITY ACTION(S):

ANNEXATION ☐

SECTOR PLAN ☐

SITE DEVELOPMENT PLAN:

COMP. PLAN ☐

ZONE CHANGE ☐

A) SUBDIVISION ☐

BUILDING PERMIT ☒

AMENDMENT ☒

CONDITIONAL USE ☐

B) BUILD'G PURPOSES ☐

ACCESS PERMIT ☐

C) AMENDMENT ☒

OTHER ☐

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

# OF UNITS:

NEW CONSTRUCTION ☐

BUILDING SIZE:  (sq. ft.)

EXPANSION OF EXISTING DEVELOPMENT ☐

42 SQ. FT SIGN (WALL SIGN)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 1/7/10

(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

SIGNALING REQUEST

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

TRAFFIC ENGINEER [Signature]

DATE 1-7-10

### Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES ☐ NO ☒

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

APPLICANT [Signature]

DATE 1/7/10

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /  
-FINALIZED / /

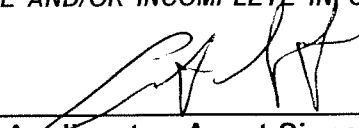
TRAFFIC ENGINEER

DATE

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

 1/7/10  
Applicant or Agent Signature / Date

## NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

### Accompanying Material

- ☒ A. 8-1/2" x 11" reduction for each plan sheet.
- ☒ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100' [Other scales as approved by staff]
- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Scaled vicinity map
- ☒ 6. Property lines (clearly identify)
- ☒ 7. Existing and proposed easements (identify each)
- ☒ 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

### 1. Structural

- ☒ A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- ☒ B. Square footage of each structure
- ☒ C. Proposed use of each structure
- ☒ D. Temporary structures, signs and other improvements
- ☒ E. Walls, fences, and screening: indicate height, length, color and materials
- ☒ F. Dimensions of all principal site elements or typical dimensions thereof
- ☒ G. Loading facilities
- ☒ H. Site lighting (indicate height & fixture type)
- ☒ I. Indicate structures within 20 feet of site
- ☒ J. Elevation drawing of refuse container and enclosure, if applicable.
- ☒ K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

### 2. Parking and Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled.
  - ☒ 1. **Location and typical dimensions**, including handicapped spaces
  - ☒ 2. **Calculations:** spaces required: ~~20~~ 70 provided: ~~20~~ 70  
Handicapped spaces (included in required total) required: 4 provided: 4  
Motorcycle spaces (in addition to required total) required: 2 provided: 2
- ☒ B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 7 provided: 7
  - 2. Bikeways and other bicycle facilities, if applicable
- ☒ C. Public Transit
  - ☒ 1. Bus facilities, including routes, bays and shelters existing or required
- ☒ D. Pedestrian Circulation
  - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths
  - ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☒ E. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
  - ☒ 2. Drive aisle locations, including width and curve radii dimensions
  - ☒ 3. End aisle locations, including width and curve radii dimensions
  - ☒ 4. Location & orientation of refuse enclosure, with dimensions
  - ☒ 5. Curb cut locations and dimensions
  - ☒ 6. Existing and proposed street widths, right-of-way widths and curve radii
  - ☒ 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - ☒ 8. Location of traffic signs and signals related to the functioning of the proposal
  - ☒ 9. Identify existing and proposed medians and median cuts

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## 3. Phasing

- ☒ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
- ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
- ☒ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
- ☒ C. Ponding areas either for drainage or landscaping/recreational use
- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
- ☒ A. Existing, indicating whether it is to be preserved or removed.
- ☒ B. Proposed, to be established for general landscaping.
- ☒ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Backflow prevention detail
- ☒ 10. Planting Beds, indicating square footage of each bed
- ☒ 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 12. Responsibility for Maintenance (statement)
- ☒ 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- ☒ 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- ☒ 16. Planting or tree well detail
- ☒ 17. Street Tree Plan as defined in the Street Tree Ord.

## SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

### A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

## B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas
- ☒ 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 UTILITY PLAN

- ☒ 1. Fire hydrant locations, existing and proposed.
- ☒ 2. Distribution lines
- ☒ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- ☒ A. Scale (minimum of 1/8" or as approved by Planning Staff).
- ☒ B. Bar Scale
- ☒ C. Detailed Building Elevations for each facade
  - ☒ 1. Identify facade orientation (north, south, east, & west).
  - ☒ 2. Facade dimensions including overall height and width
  - ☒ 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
  - ☒ 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- ☒ E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- ☒ 1. Site location(s)
- ☒ 2. Sign elevations to scale
- ☒ 3. Dimensions, including height and width
- ☒ 4. Sign face area - dimensions and square footage clearly indicated
- ☒ 5. Lighting
- ☒ 6. Materials and colors for sign face and structural elements.

**PETERSON PROPERTIES**  
**Real Estate Services, Inc.**

April 15, 2009

To Whom It May Concern:

This letter authorizes George Rainhart Architect & Associates P.C. and Modulus Architects to act as agents for the owner of the property known as Parcel C (Being a Replat of Portions of Lots 13 Through 17 & All Lots 18A, 19A, 20A, Block 31, Tract A, Unit A, North Albuquerque Acres; a Portion of Tract B, Heritage Hills North and Vacated Portion of Palomas Ave. NE) in Albuquerque, NM, for an administrative amendment or other submittals for City of Albuquerque approval pertaining to the aforementioned property.


Sincerely,

Peterson INV-Ventura LLC  
A New Mexico limited liability company

By: Peterson Properties Investments, LLC  
Its Managing Member

By: James A. Peterson and Mary B.  
Peterson Revocable Trust dated  
8/18/98, its Managing Member

By:

  
James A. Peterson  
Trustee



Ms. Laurie Moye, Chair  
Environmental Planning Commission  
City of Albuquerque  
Albuquerque, NM

**Re: Amendment to Site Plan For A Building Mounted Sign - Project #1007841**

Dear Chair Moye:

This is a request to place a permissive building mounted wall mounted sign on the western facade of the Walgreens located on the southwest corner of Paseo del Norte Boulevard and Ventura Avenue NE. The overall site plan, including Walgreens was approved by the Environmental Planning Commission (EPC) on in 2008.

The property is zoned SU-2/C-1 and is located within the *La Cueva Sector Development Plan*. Signs are regulated by the provisions of the C-1 zone in the *Comprehensive City Zoning Code*, as well as by the sign regulations of the *LCSDP*. The requested sign complies with all requirements of both the *Zoning Code* and the governing Sector Development Plan, as reviewed by the EPC and ultimately approved by the City Council.

Specifically, the sign will be 42 square feet in area and will not exceed comprise less than 2% of the facade. C-1 sign regulations limit a building mounted sign to no more than 12.5% of the facade to which it is applied on the same premises having a free standing sign. Walgreens has an approved free standing monument sign on the corner of Paseo del Norte and Ventura. Further, the sign will comply with all requirements of the general sign regulations of the *Zoning Code*.

In addition to the standard regulations of the C-1 zone, the requested sign also complies with all requirements for signs in the *LCSDP*. Specifically:

- **13R-1: All signage shall be designed to be consistent with and complement the materials, color and architectural style of the building or site.** The sign is of the same script, color and size as the previously approved building mounted signs on the north and east facades of the building.
- **13R-2: Wall mounted signs shall not extend above the roof line.** The sign does not extend above the roof line.
- **13R-3: No wall mounted signs are allowed on facades that face abutting residential zones.** The Walgreens property abuts another SU-2/-C-1 zoned lot.
- **13R-4:** This section pertains to free standing signs and is not applicable to this request.

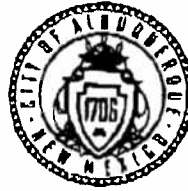
- **13R-5:** This section pertains to off premise signs and is not applicable to this request.
- **13R-6: No signage is allowed that uses flashing, oscillating, revolving, blinking, or audible devices. No banners, pennants, ribbons or streamers are allowed.....**  
This request is for a permanent wall mounted sign and does not violate any of the requirements of this Section.
- **13R-7: Signage may be illuminated in accordance with the lighting regulations in section 14 of the City zoning code.** The sign will comply with all lighting regulations of the *Zoning Code*.
- **13R-8: The maximum individual letter size of all building mounted signs shall be two feet.** No letters on the sign will exceed the two foot maximum requirement.
- **13R-9:** This section pertains to logo designs and is not applicable to this request.

As stated, this request is for a sign that is permissive and governed by specific regulations of the *Zoning Code* and *La Cueva Sector Development Plan*. The proposed sign complies with all applicable regulations and positive consideration of this request for a minor site plan amendment is appreciated. I look forward to addressing the commission to answer any other questions that may arise.

Regards,

A handwritten signature in black ink, appearing to read 'Doug Crandall', with a stylized flourish at the end.

Doug Crandall  
Principal  
DAC Enterprises, Inc.



# City of Albuquerque

Date: 12/31/09

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

TO CONTACT NAME: JONATHAN STERN  
 COMPANY/AGENCY: Modulus Architects  
 ADDRESS/ZIP: 2325 San Pedro NE, Suite B 87110  
 PHONE/FAX #: 338-1499 ext 110 338-1498

Thank you for your inquiry of 12/31/09 (date) requesting the names of **ALL Affected**

**Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at Parcel C, Tract A, Unit A 8011 Ventura St NE zone map page(s) D-20

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Neighborhood & Coalition  
 Neighborhood or Homeowner Association

Contact: Heritage Hills

Heritage Eco

Vineyard Estates

Neighborhood or Homeowner Association

Contact: R. St. John

**See reverse side for additional Neighborhood and/or Homeowner Associations Information:**

YES { } NO A

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Abra M. Ortiz  
 OFFICE OF NEIGHBORHOOD COORDINATION

**ATTENTION:** Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

## **NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### **WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:**

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

### **INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION**

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ☒ **ONC's "Official" Letter to the applicant (if there are associations).** A copy must be submitted with application packet -OR-
- ☒ **The ONC "Official" Letter (if there are no associations).** A copy must be submitted with application packet.
- ☐ **Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations).** A copy must be submitted with application packet.
- ☒ **Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations).** A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

\*\*\*\*\*

(Below this line for ONC use only)

Date of Inquiry: 12/31/09 Time Entered: 9:00 PM ONC Rep. Initials: P

**HERITAGE EAST ASSOC. OF RESIDENTS (HER) "R"****\*Dan Gear***e-mail:* [dangear73@hotmail.com](mailto:dangear73@hotmail.com)

9120 Mabry Ave. NE/87109 821-0516 (h)

Jeff Figiel

*e-mail:* [jfigiel@msn.com](mailto:jfigiel@msn.com)

7106 Greenmont Ct. NE/87109 856-0042 (h)

**Website:** [www.hearonline.org](http://www.hearonline.org)**Council District:** 4**County District:** 4**Police Beat:** 434/NE**Zone Map #:** C-E-20**HERITAGE HILLS N.A. (HHL) "R"****\*Peter Nicholls***e-mail:* [pdnicholls@yahoo.com](mailto:pdnicholls@yahoo.com)

8519 Palomar Ave. NE/87109 353-1996 (c)

Robert Preissler

*e-mail:* [rjpreissler@yahoo.com](mailto:rjpreissler@yahoo.com)

7304 Yorktown Ave. NE/87109 856-7394 (h)

**NA E-mail:** [HHNA@comcast.net](mailto:HHNA@comcast.net)**Council District:** 4**County District:** 4**Police Beat:** 434/NE**Zone Map #:** C-D-19-20, E-20**VINEYARD ESTATES N.A. (VYE) "R"****\*Lee Ann Riesen***e-mail:* [lafisk@swcp.com](mailto:lafisk@swcp.com)

9036 Village Ave. NE/87122 844-2059 (w) 280-5792 (c)

Tony Huffman

*e-mail:* [thuffman663@comcast.net](mailto:thuffman663@comcast.net)

8912 Corona Ave. NE/87122 823-2456 (h) 259-9723 (c)

**Website:** [www.venaabq.org](http://www.venaabq.org)**Council District:** 4**County District:** 4**Police Beat:** 434/NE**Zone Map:** C-19-20**DISTRICT 4 COALITION OF N.A.'S****\*Amy Whitling**, P.O. Box 91343/87199-1343 440-7028 (c) *e-mail:* [abqdelreyna@aol.com](mailto:abqdelreyna@aol.com) or [sassymark@aol.com](mailto:sassymark@aol.com)

Bambi Folk, 6617 Esther NE/87109 821-9560 (h)

**Website:** [www.d4c-abq.info](http://www.d4c-abq.info)**Coalition E-mail:** [d-4-c@comcast.net](mailto:d-4-c@comcast.net)

January 6, 2010

Heritage East Association of Residents  
Attn: Dan Gear  
9120 Mabry Ave. NE  
Albuquerque, NM 87109

To Whom It May Concern:

We herewith wish to inform you that we will be submitting an application for an Amendment to the Site Development Plan Thursday, January 7, 2010. The affected portion of the Development plan is the (existing) Walgreens pharmacy located the Southwest corner of Paseo Del Norte and Ventura Street (8011 Ventura St. NE). The submittal is for a proposed new script sign on the West-facing building façade. For your use we have included a portion of our submittal package containing the approved EPC/DRB drawings, a subsequent administrative amendment (that reduced the tower height per Neighborhood Association request) and a sheet of building elevations illustrating existing signs and the proposed new wall sign. The proposed sign is to be the same materials and level of internal illumination as other script signs on the building. The sign will be compliant with the Zoning Code and La Cueva Sector Development Plan, with letter height 2' max.

If you have any questions or comments concerning this project, please call me at 338-1499 x110, and I will be happy to clarify any questions.

Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110

January 6, 2010

Heritage East Association of Residents  
Attn: Jeff Figiel  
7106 Greenmont Ct. NE  
Albuquerque, NM 87109

To Whom It May Concern:

We herewith wish to inform you that we will be submitting an application for an Amendment to the Site Development Plan Thursday, January 7, 2010. The affected portion of the Development plan is the (existing) Walgreens pharmacy located the Southwest corner of Paseo Del Norte and Ventura Street (8011 Ventura St. NE). The submittal is for a proposed new script sign on the West-facing building façade. For your use we have included a portion of our submittal package containing the approved EPC/DRB drawings, a subsequent administrative amendment (that reduced the tower height per Neighborhood Association request) and a sheet of building elevations illustrating existing signs and the proposed new wall sign. The proposed sign is to be the same materials and level of internal illumination as other script signs on the building. The sign will be compliant with the Zoning Code and La Cueva Sector Development Plan, with letter height 2' max.

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Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110

January 6, 2010

Heritage Hills Neighborhood Association  
Attn: Robert Preissler  
7304 Yorktown Ave. NE  
Albuquerque, NM 87109

To Whom It May Concern:

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Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110



January 6, 2010

Vineyard Estates Neighborhood Association  
Attn: Lee Ann Riesen  
9036 Village Avenue NE  
Albuquerque, NM 87122

To Whom It May Concern:

We herewith wish to inform you that we will be submitting an application for an Amendment to the Site Development Plan Thursday, January 7, 2010. The affected portion of the Development plan is the (existing) Walgreens pharmacy located the Southwest corner of Paseo Del Norte and Ventura Street (8011 Ventura St. NE). The submittal is for a proposed new script sign on the West-facing building façade. For your use we have included a portion of our submittal package containing the approved EPC/DRB drawings, a subsequent administrative amendment (that reduced the tower height per Neighborhood Association request) and a sheet of building elevations illustrating existing signs and the proposed new wall sign. The proposed sign is to be the same materials and level of internal illumination as other script signs on the building. The sign will be compliant with the Zoning Code and La Cueva Sector Development Plan, with letter height 2' max.

If you have any questions or comments concerning this project, please call me at 338-1499 x110, and I will be happy to clarify any questions.

Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110

January 6, 2010

Vineyard Estates Neighborhood Association  
Attn: Tony Huffman  
8912 Corona Avenue NE  
Albuquerque, NM 87122

To Whom It May Concern:

We herewith wish to inform you that we will be submitting an application for an Amendment to the Site Development Plan Thursday, January 7, 2010. The affected portion of the Development plan is the (existing) Walgreens pharmacy located the Southwest corner of Paseo Del Norte and Ventura Street (8011 Ventura St. NE). The submittal is for a proposed new script sign on the West-facing building façade. For your use we have included a portion of our submittal package containing the approved EPC/DRB drawings, a subsequent administrative amendment (that reduced the tower height per Neighborhood Association request) and a sheet of building elevations illustrating existing signs and the proposed new wall sign. The proposed sign is to be the same materials and level of internal illumination as other script signs on the building. The sign will be compliant with the Zoning Code and La Cueva Sector Development Plan, with letter height 2' max.

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Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110

January 6, 2010

District 4 Coalition of Neighborhood Associations  
Attn: Amy Whitling  
P.O. Box 91343  
Albuquerque, NM 87199

To Whom It May Concern:

We herewith wish to inform you that we will be submitting an application for an Amendment to the Site Development Plan Thursday, January 7, 2010. The affected portion of the Development plan is the (existing) Walgreens pharmacy located the Southwest corner of Paseo Del Norte and Ventura Street (8011 Ventura St. NE). The submittal is for a proposed new script sign on the West-facing building façade. For your use we have included a portion of our submittal package containing the approved EPC/DRB drawings, a subsequent administrative amendment (that reduced the tower height per Neighborhood Association request) and a sheet of building elevations illustrating existing signs and the proposed new wall sign. The proposed sign is to be the same materials and level of internal illumination as other script signs on the building. The sign will be compliant with the Zoning Code and La Cueva Sector Development Plan, with letter height 2' max.

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Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110

January 6, 2010

District 4 Coalition of Neighborhood Associations  
Attn: Bambi Folk  
6617 Esther NE  
Albuquerque, NM 87109

To Whom It May Concern:

We herewith wish to inform you that we will be submitting an application for an Amendment to the Site Development Plan Thursday, January 7, 2010. The affected portion of the Development plan is the (existing) Walgreens pharmacy located the Southwest corner of Paseo Del Norte and Ventura Street (8011 Ventura St. NE). The submittal is for a proposed new script sign on the West-facing building façade. For your use we have included a portion of our submittal package containing the approved EPC/DRB drawings, a subsequent administrative amendment (that reduced the tower height per Neighborhood Association request) and a sheet of building elevations illustrating existing signs and the proposed new wall sign. The proposed sign is to be the same materials and level of internal illumination as other script signs on the building. The sign will be compliant with the Zoning Code and La Cueva Sector Development Plan, with letter height 2' max.

If you have any questions or comments concerning this project, please call me at 338-1499 x110, and I will be happy to clarify any questions.

Sincerely,

Jonathan Stern AIA  
Modulus Architects  
338-1499 ext. 110

7008 1140 0002 3163 8152

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 or PO Box No. **7106 GREENMONT CT. NE**  
 City, State, ZIP+4 **ALBUQUERQUE NM 87109**

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 7.85

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 or PO Box No. **P.O. BOX 91343**  
 City, State, ZIP+4 **ALBUQUERQUE NM 87199**

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 7.85

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 Street, Apt. No.,  
 or PO Box No. **9120 MABRY AVE NE**  
 City, State, ZIP+4 **ALBUQUERQUE, NM 87109**

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Total Postage & Fees	\$ 7.85

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Sent To **LEE ANN RIESEN**  
 Street, Apt. No., or PO Box No. **9036 VILLAGE AVE NE**  
 City, State, ZIP+4 **ALBUQUERQUE NM 87122**

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Total Postage & Fees	\$ 7.85

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 Street, Apt. No., or PO Box No. **7304 YORKTOWN AVE NE**  
 City, State, ZIP+4 **ALBUQUERQUE NM 87109**

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7008 1140 0002 3163 8206

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Return Receipt Fee (Endorsement Required)	2.30
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 7.85

Postmark  
Here

Sent To **BAMBI FOLK**  
 Street, Apt. No., or PO Box No. **6617 ESTHER NE**  
 City, State, ZIP+4 **ALBUQUERQUE NM 87109**

PS Form 3800, August 2006

See Reverse for Instructions

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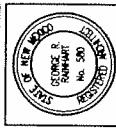
Sent To **TONY HUFFMAN**  
 Street, Apt. No., or PO Box No. **8912 CORONA AVE NE**  
 City, State, ZIP+4 **ALBUQUERQUE NM 87122**

PS Form 3800, August 2006

See Reverse for Instructions

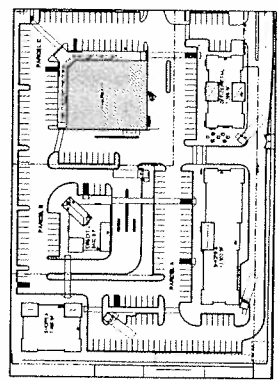
7008 1140 0002 3163 8163

DATE	8.22.07	SCALE	100%
<div> <div> <div>PRODUCT TITLE</div> <div>PASEO DEL NORTE Y VENTURA</div> </div> <div> <div>PRODUCT NAME</div> <div>PASEO DEL NORTE Y VENTURA</div> </div> <div> <div>MANUFACTURER NAME</div> <div>ALABAMA VENTURES, INC.</div> </div> <div> <div>PROJECT MANAGER</div> <div>JOE HEN</div> </div> <div> <div>JOB NO.</div> <div>0700</div> </div> <div> <div>OWNER REF.</div> <div>MA01</div> </div> </div>			
<div> <div>PROJECT NAME</div> <div>ELEVATIONS PHARMACY</div> </div>			
<div> <div>DATE</div> <div>8/21/07</div> </div>			



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
V			
V			
V	12-15-09	JR	ADDITIONAL SHOW ADJUSTMENT TO STATE MEAN FLOW RP
V	2-14-08	JR	DWG COMMENTS
V	12-18-07	JR	DWG COMMENTS
V	11-01-07	JR	PLANNER COMMENTS

[illegible]

**NOTES:**

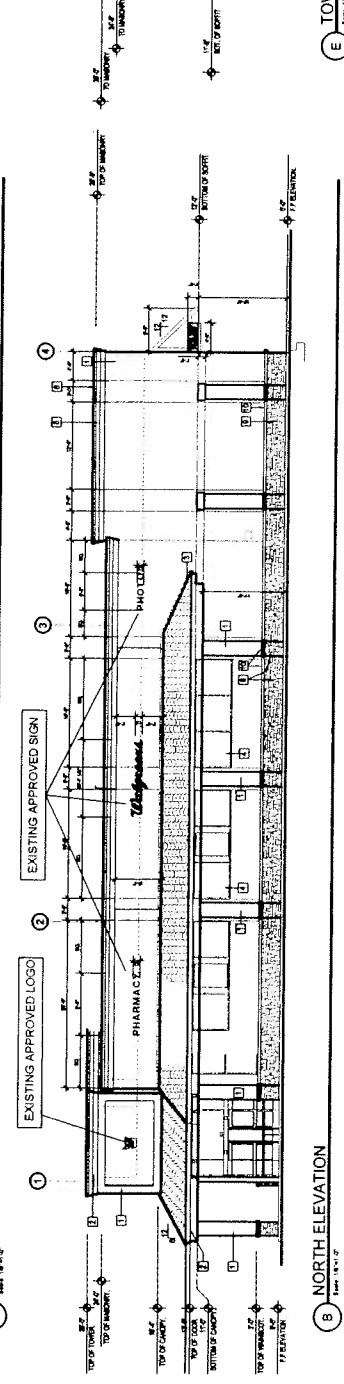
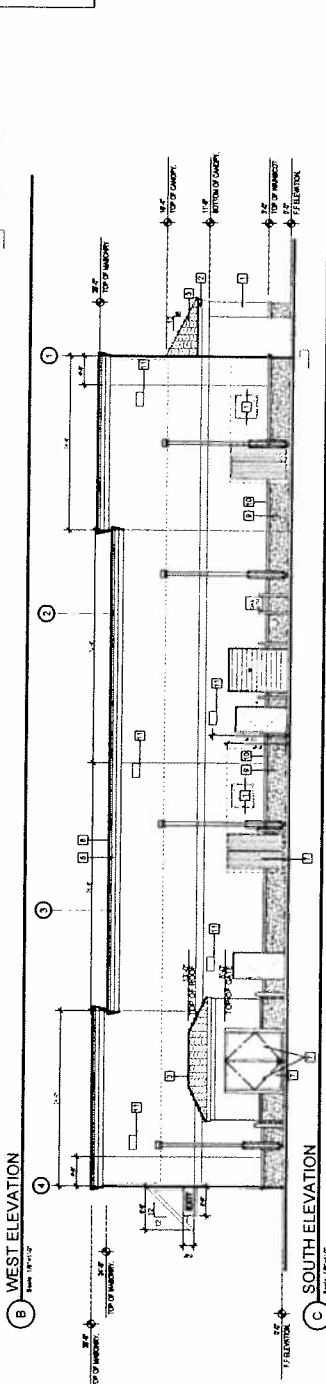
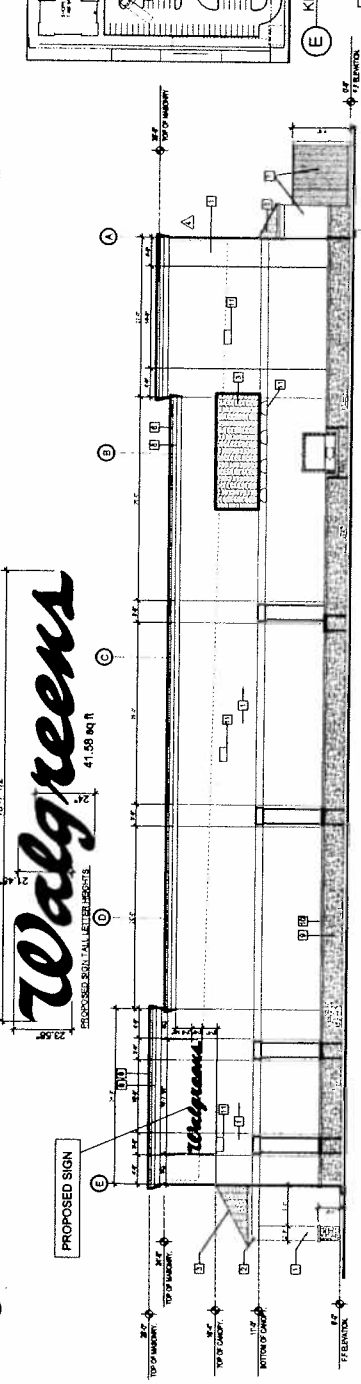
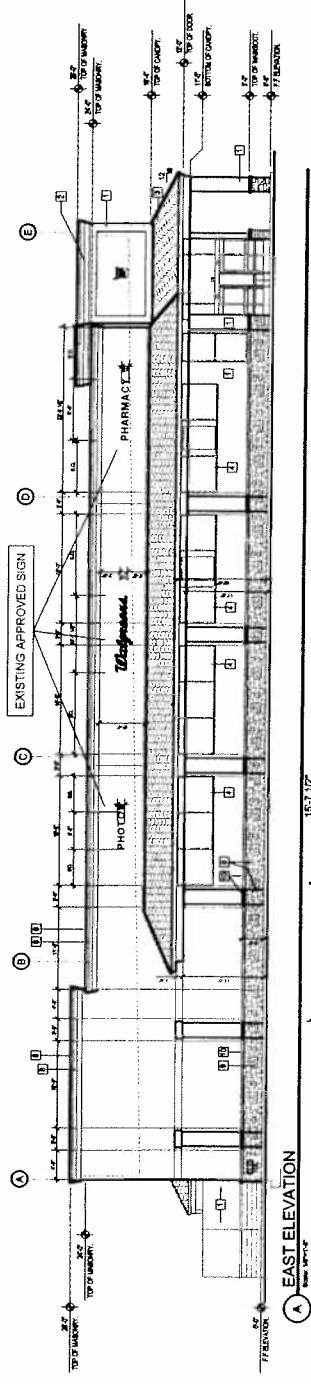
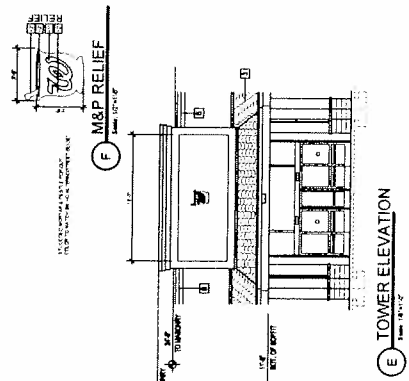
DONORS NOT TO EXCEED ENCL OF THE PACKET TO WHICH IT IS APPLIED FOR SHOWING A CREDIT UNION OR FINANCIAL

DONOR NOT TO EXCEED ENCL OF THE PACKET TO WHICH IT IS APPLIED FOR SHOWING A CREDIT UNION OR FINANCIAL

FOR NON-PROFIT AND COMMERCIAL

LETTERS INTERNALLY ILLUSTRATED NO SIGN TO FACE

PERCENTAGE AREAS

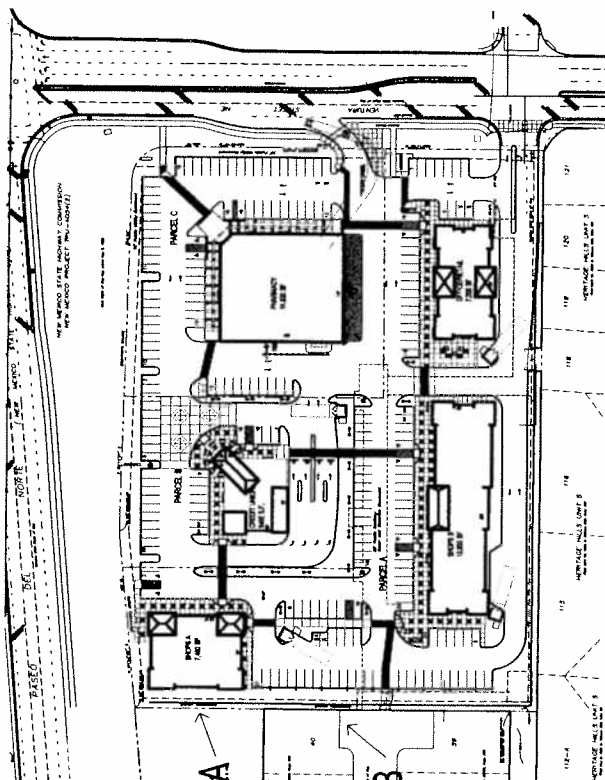
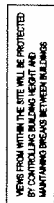


APPROVED DR





SITE DATA	PROJECT MANAGER		JOB NO.	JOB	DRAWING BY



SPACE	LAND	WATER	MAX. BALANCE	FLOOR AREA	BUILDING	RENTED	POOLED	PERCENTAGE	PERCENTAGE
	AREA	AREA	PER AC.	PER AC.	PER AC.	PER AC.	PER AC.		
A	122,200	17	20.00	2	1,000	1,000	111	6	
B	11,000	17	20.00	3	1,000	1,000	2	2	2
C	11,000	17	20.00	3	1,000	1,000	1	1	1
D	11,000	17	20.00	3	1,000	1,000	2	2	2

**PARKING CALCULATIONS:**

CITY OF ALBUQUERQUE ZONING CODE SECTION 14-10-1 OFF-STREET PARKING REGULATIONS, PERMITTED CITY OF ALBUQUERQUE USES UNLESS OTHERWISE SPECIFIED IN THE SECTION: ONE SPACE PER RETAIL AND SERVICE USE FOR THE FIRST 15,000 SQUARE FEET OF NET LEASABLE AREA, THEN, ONE SPACE PER 200 SQUARE FEET FOR THE NEXT 45,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE SPACE PER 300 SQUARE FEET FOR THE NEXT 60,000 SQUARE FEET OF NET LEASABLE AREA; THEN, ONE SPACE PER 300 SQUARE FEET FOR THE NET LEASABLE AREA THAT EXCEEDS 90,000 SQUARE FEET.

REQUIRED PARKING CALC.: \_\_\_\_\_

600 TOTAL BUILDING SQUARE FOOTAGE

$\$7,500 \times 8 = \$60,000$ ;  $\$60,000 / 200 \text{ SF} = \$300/\text{SF}$

157 15000 SF @ 1 SPACE PER 200 SF = 15000/200 = 75

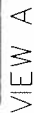
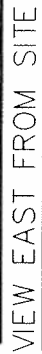
SPACES REQ'D.

REMAINING IN 400 SF @ 1.90/AC PER 250 SF = \$3,800

100 - 1000 mg daily.

©Copyright 2007 by John Wiley & Sons, Inc.

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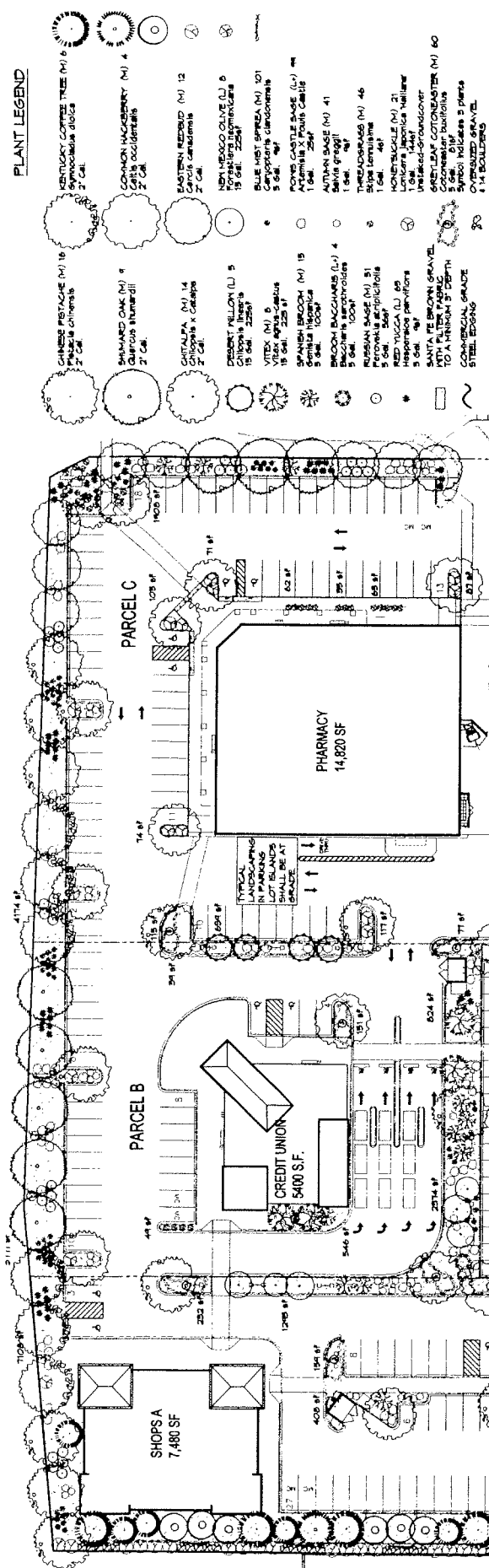
FROM EAST OF LOT 40 LOOKING NORTHEAST.



FROM EAST OF LOT 59 LOOKING NORTHEAST

VIEW KEY PLAN

### PLANT LEGEND



**LANDSCAPE NOTES:**  
Landscapes maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition. The owner of the subject site shall maintain

Landscaping in parking lot islands shall be at grade. It shall be the intent of this plan to comply with the City of Albuquerque Water Conservation Ordinance regarding Water Waste Ordinance planting restrictions. Approval of this plan does not constitute or imply endorsement or approval from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Needs Ordinance. In general, landscape conservative, environmentally sound landscaping practices will be followed in design and installation.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

## LANDSCAPE CALCULATIONS

	Sq. Ft.	%	Total Sq. Ft.	%	Total Sq. Ft.	%	Total Sq. Ft.	%
TOTAL LOT AREA	236850							
TOTAL BUILDINGS AREA	48400							
NET LOT AREA	188450							
LANDSCAPE REQUIREMENT	15%							
TOTAL LANDSCAPE REQUIREMENT	28267							
TOTAL BED PROVIDED	41682							
GROUNDCOVER REQ.	80%							
TOTAL GROUND COVER REQUIREMENT	33346							
TOTAL GROUND COVER PROVIDED	33921(81%)							
TOTAL SOD AREA	0							
(max. 20% of landscape required)								
TOTAL LANDSCAPE PROVIDED	41682 (22%)							

**NOTE TO CLIENT:**

Should the Hiltop not receive a Grading and Drainage Plan during the design process or the Orange Blends differ from the Grading and Drainage Blends received, the Hiltop reserves the right to apply slope stabilization materials where the design calls for slope stabilization materials but the plan does not indicate. Gravel smaller than 2 1/2" aggregate should not stay on a slope greater than 3:1 if the gradient is greater than what was originally designed, as an unintended consequence, the slope may become an embankment-order to lay cobblestones on the face of the specified material to stabilize the slope. All vegetative material shall remain near plan.

## LANDSCAPE PLAN

$$\text{SCHE 1} = 1.74 \times 10^{-3}$$

A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL

## SHRUB PLANTING DETAIL

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL

NTS  
TREE PLANTING DETAIL

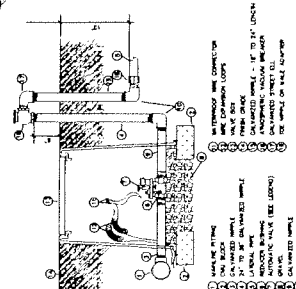
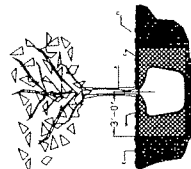
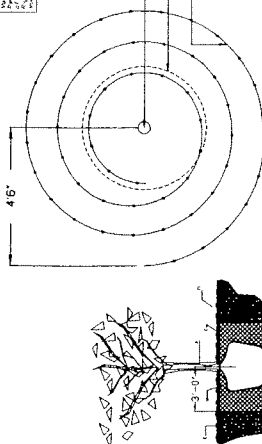
### NOTES

- CONSTRUCTION NOTES
- A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 9" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

### Netafim Spiral Detail

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY NOT BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL NAIL, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.



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For more information, visit [www.drip.com](http://www.drip.com)

**CITING A**

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TO SOIL.

72


 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**Bohannon ▲ Huston**  
 Courtyard | 7800 Jefferson Bl. NE Albuquerque, NM 87106-0396  
**ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES**

**Behanman & Huston**  
 CONSULTING ENGINEERS  
 1700 Johnson Blvd. NE, Albuquerque, NM 87108-4505  
 (505) 884-9110 FAX (505) 837-9877

**CONCEPTUAL UTILITY PLAN**

DRB SUBMITTAL

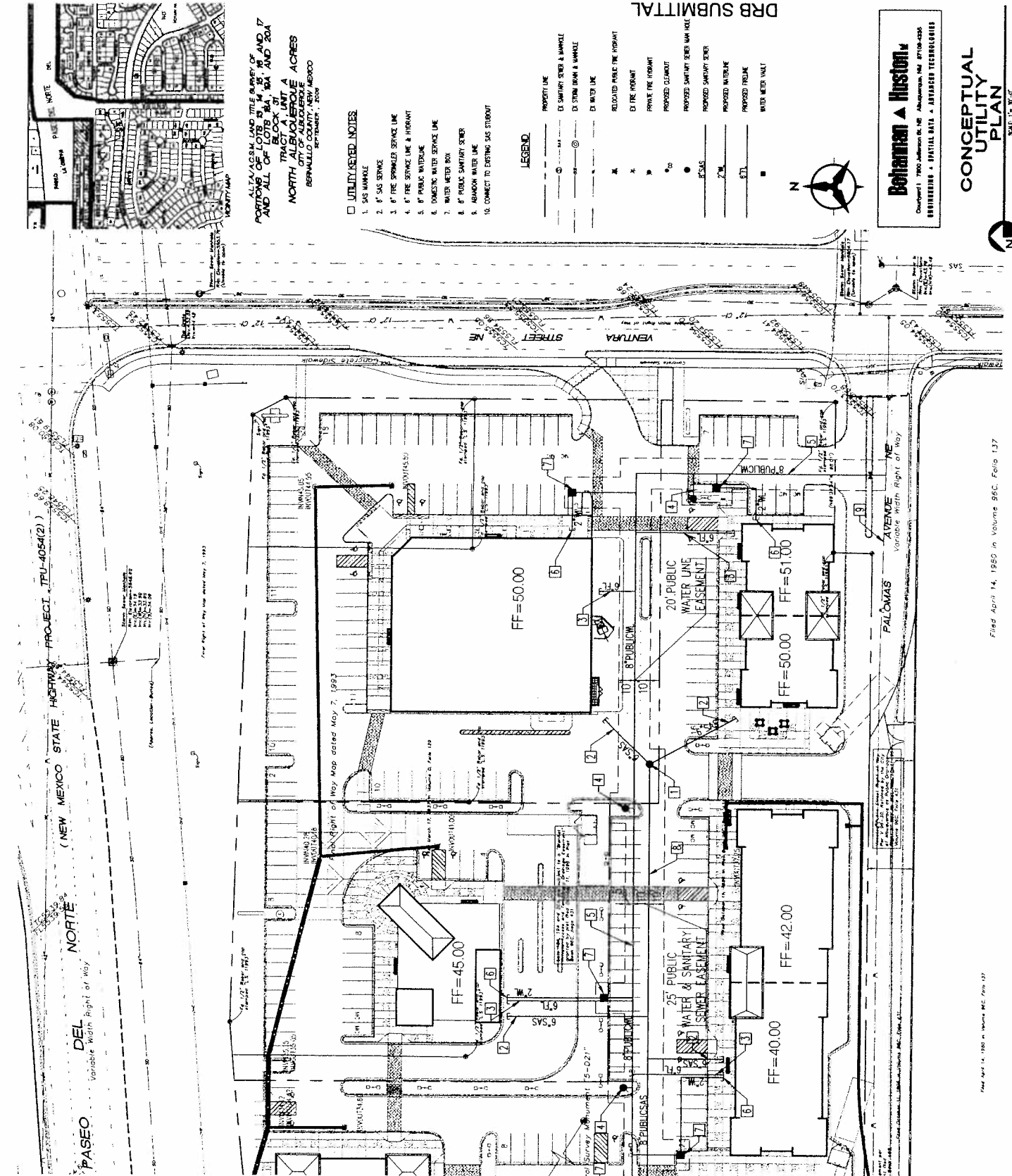
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



- UTILITY-RELATED NOTES**
1. SAS MANHOLE
  2. 8" SAS SERVICE
  3. 8" FIRE SPRINKLER SERVICE LINE
  4. 8" FIRE SERVICE LINE & HYDRANT
  5. 8" PUBLIC WATERLINE
  6. DOMESTIC WATER SERVICE LINE
  7. WATER METER BOX
  8. 8" PUBLIC SANITARY SEWER
  9. ABANDON WATER LINE
  10. CONNECT TO EXISTING GAS STREET

**LEGEND**

- PROPERTY LINE**
- EX SANITARY SEWER & MANHOLE
  - EX STORM SEWER & MANHOLE
  - EX WATER LINE
  - EX REDUCED PUBLIC FIRE HYDRANT
  - EX FIRE HYDRANT
  - PRIVATE FIRE HYDRANT
  - PROPOSED CULVERT
  - PROPOSED SANITARY SEWER MANHOLE
  - PROPOSED SANITARY SEWER
  - PROPOSED WATERLINE
  - PROPOSED PRELIME
  - WATER METER VAULT



REV	DATE	BY	REVISION





REV	DATE	BY	REVISION
1	11-01-97		11-01-97
2	11-01-97		11-01-97
3	11-01-97		11-01-97
4	11-01-97		11-01-97
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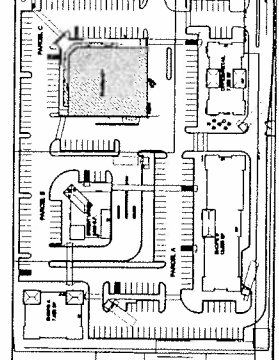
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

GEORGE R. RAINHART  
 ARCHITECT  
 NO. 300  
 STATE OF NEW MEXICO

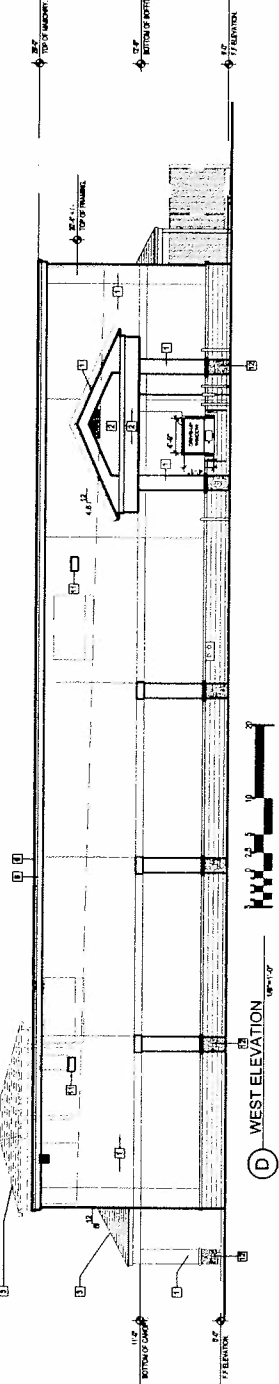
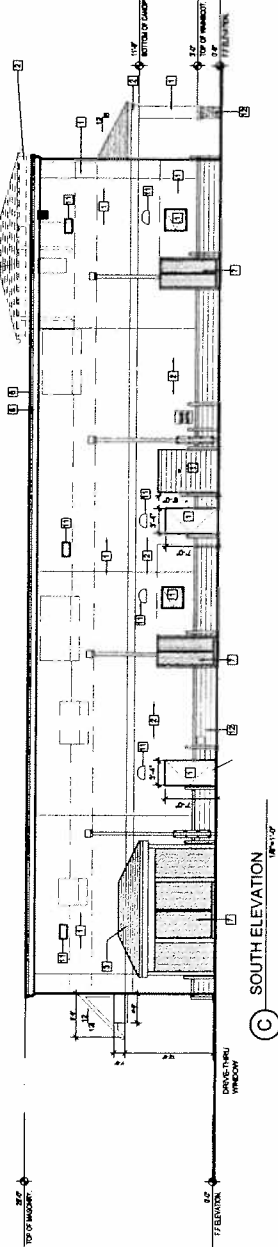
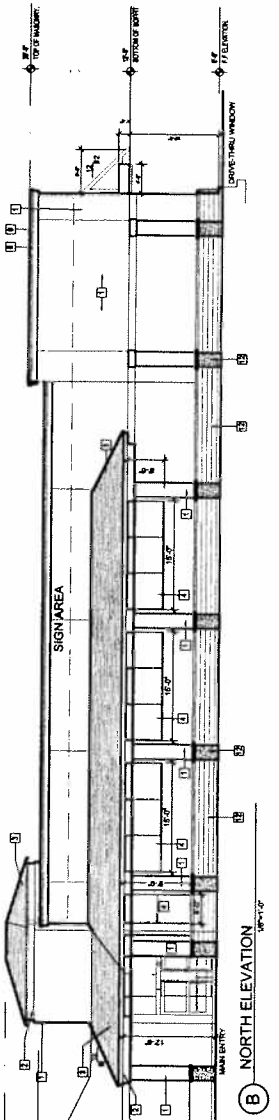
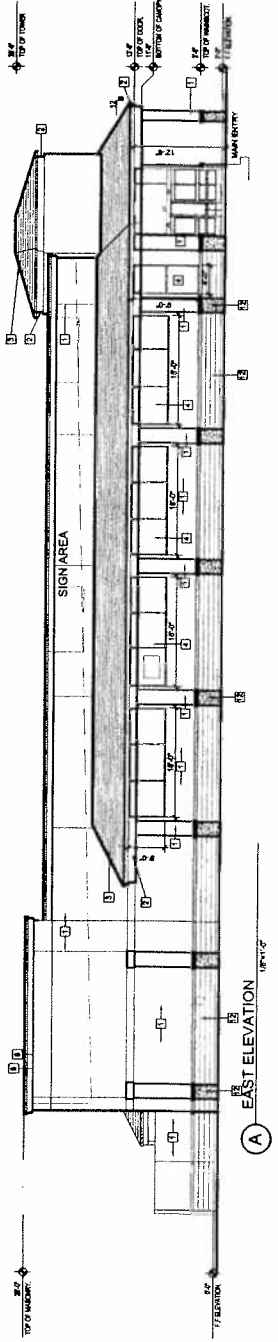
PASEO DEL NORTE & VENTURA  
 ALBUQUERQUE, NM  
 PROJECT NO. 97-001  
 SHEET NO. 101  
 DATE 11-01-97

ELEVATIONS PHARMACY  
 SHEET NO. 101  
 DATE 11-01-97

Keyed Color	Material Schedule	Common Name
1	WOOD	WOOD
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100	WOOD	WOOD



NOTES:  
 1. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT.  
 2. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT.  
 3. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT.  
 4. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT.  
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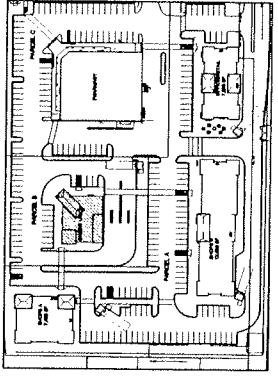


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2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

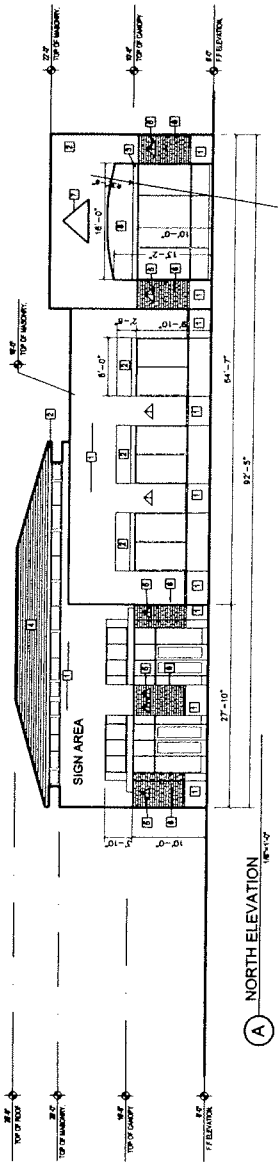
REV	DATE	BY	REVISION
12/26/07		AR	FINAL COMMENTS
11/17/07		AR	PLANNING COMMENTS

Keyed Color	Material Schedule	Common Name
1	PUCCO	LIGHT TAN
2	PUCCO	MEDIUM DARK TAN
3	PUCCO	DARK BROWN
4	PUCCO	LIGHT GRAY
5	PUCCO	BLACK
6	PUCCO	BROWN
7	PUCCO	MEDIUM DARK GRAY

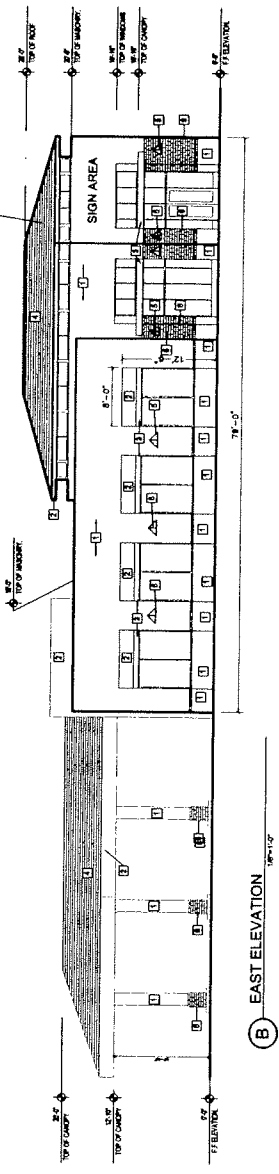
NOTES:  
1. REFER TO EXISTING PLANS FOR DIMENSIONS.  
2. REFER TO EXISTING PLANS FOR MATERIALS.  
3. REFER TO EXISTING PLANS FOR FINISHES.  
4. REFER TO EXISTING PLANS FOR DETAILS.  
5. REFER TO EXISTING PLANS FOR ELEVATIONS.  
6. REFER TO EXISTING PLANS FOR SECTIONS.  
7. REFER TO EXISTING PLANS FOR FOUNDATIONS.



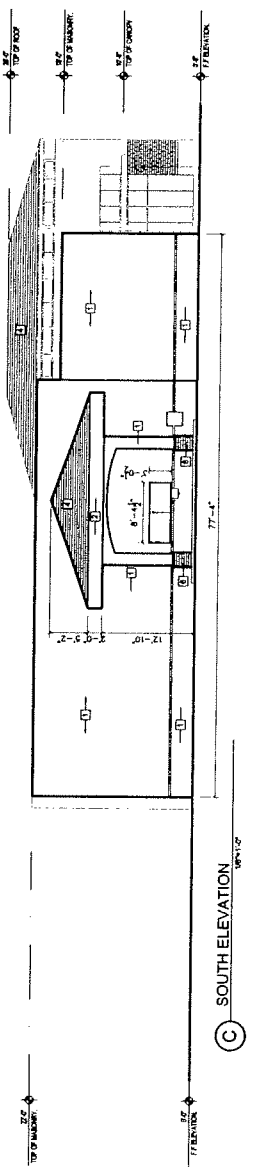
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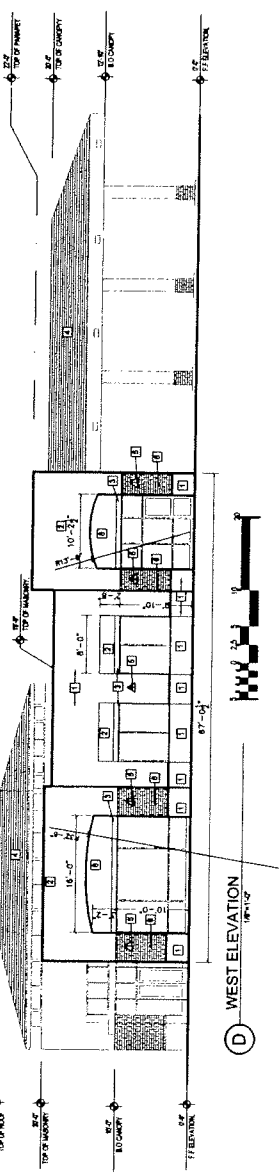
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION





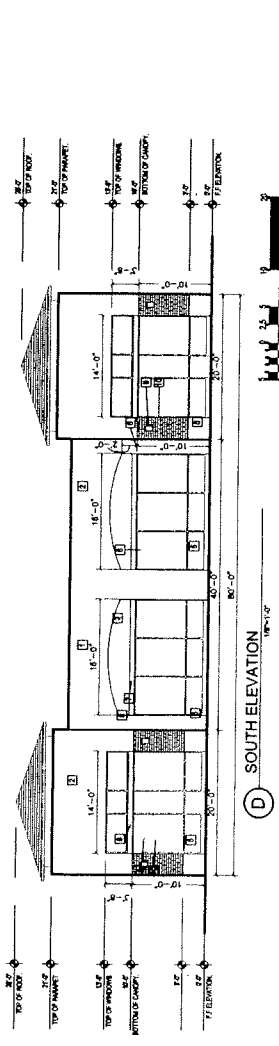
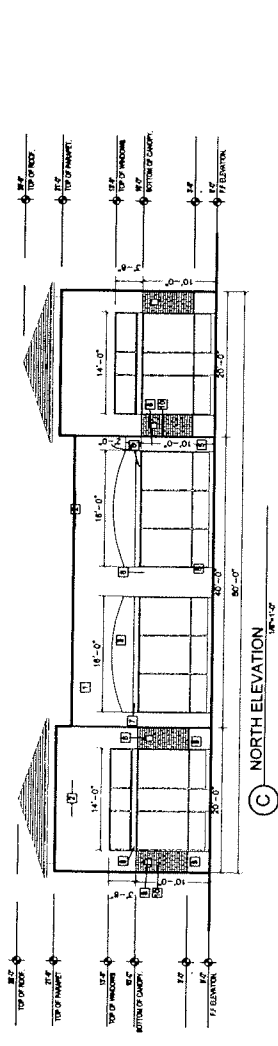
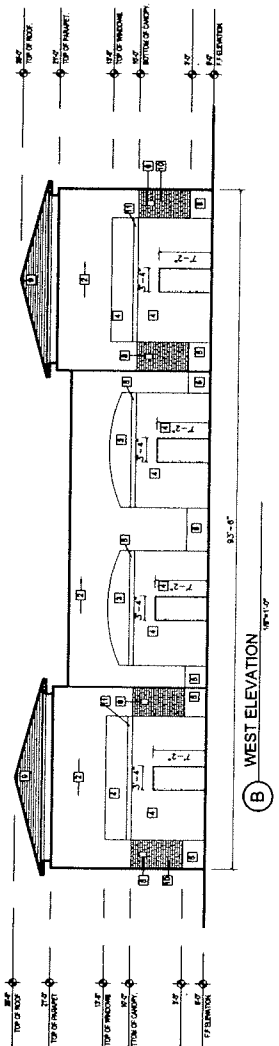
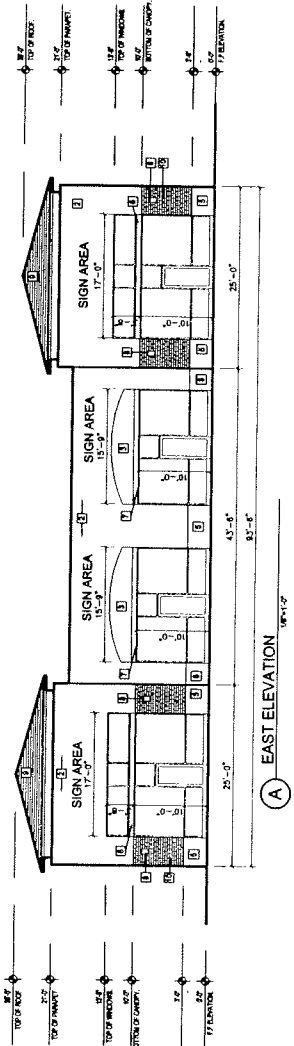
REV	DATE	BY	REVISION
1	11/01/07	AS	15. WORKER COMMENTS
2	12/20/07	AS	16. CORRECTIONS

**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE, SUITE B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



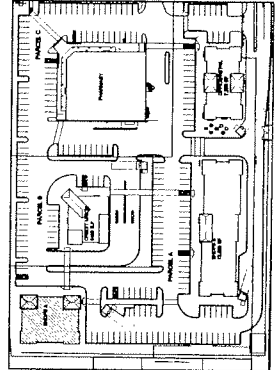
<b>PASEO DEL NORTE &amp; VENTURA</b>	
PROJECT TITLE	ELEVATIONS SHOPS-A
PROJECT NUMBER	001
DATE	11/01/07
DESIGNED BY	AS
CHECKED BY	AS

DATE	11/01/07
SCALE	A3.5



**NOTES:**  
 1. FINISHES ARE TO BE MATCHED TO THE FINISHES SHOWN ON THE ARCHITECTURAL DRAWINGS.  
 2. FOR FINISHES, EXISTING MATERIALS AND FINISHES TO BE MATCHED TO THE FINISHES SHOWN ON THE ARCHITECTURAL DRAWINGS.  
 3. FOR FINISHES, EXISTING MATERIALS AND FINISHES TO BE MATCHED TO THE FINISHES SHOWN ON THE ARCHITECTURAL DRAWINGS.  
 4. FOR FINISHES, EXISTING MATERIALS AND FINISHES TO BE MATCHED TO THE FINISHES SHOWN ON THE ARCHITECTURAL DRAWINGS.  
 5. FOR FINISHES, EXISTING MATERIALS AND FINISHES TO BE MATCHED TO THE FINISHES SHOWN ON THE ARCHITECTURAL DRAWINGS.

Keyed Color	Material Schedule	Common Name
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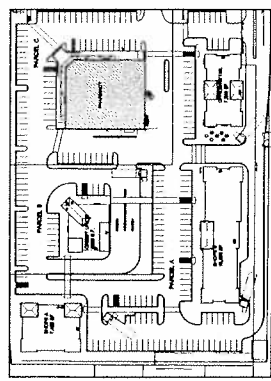
APPROVED AS SHOWN

PROJECT TITLE <b>PASEO DEL NORTE &amp; VENTURA</b>	
ARCHITECT <b>GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.</b>	
DATE <b>8.22.07</b>	
SCALE <b>1/8" = 1'-0"</b>	
SHEET NO. <b>A3.1</b>	
TOTAL SHEETS <b>10</b>	
PROJECT LOCATION <b>ALBUQUERQUE, NM</b>	
OWNER <b>PASEO DEL NORTE AND VENTURA</b>	
DESIGNER <b>ALBUQUERQUE, NM</b>	
DATE <b>8.22.07</b>	
SCALE <b>1/8" = 1'-0"</b>	
SHEET NO. <b>A3.1</b>	
TOTAL SHEETS <b>10</b>	

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

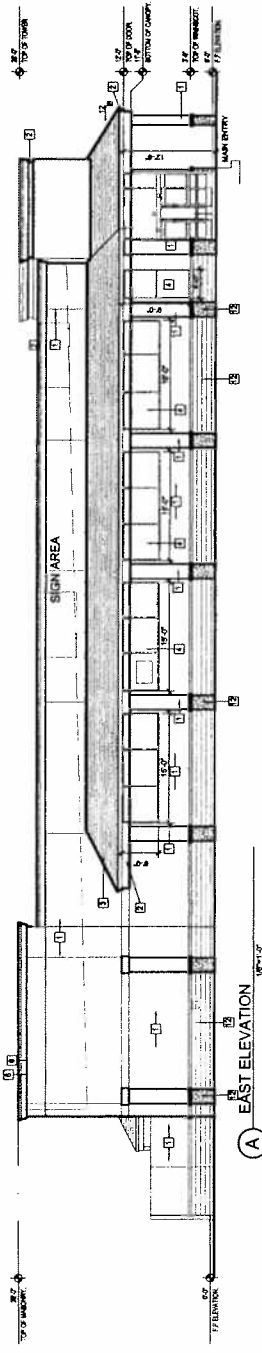
REV	DATE	DESCRIPTION
01	8/22/07	ISSUED FOR PERMIT
02	8/22/07	ISSUED FOR PERMIT
03	8/22/07	ISSUED FOR PERMIT
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05	8/22/07	ISSUED FOR PERMIT
06	8/22/07	ISSUED FOR PERMIT
07	8/22/07	ISSUED FOR PERMIT
08	8/22/07	ISSUED FOR PERMIT
09	8/22/07	ISSUED FOR PERMIT
10	8/22/07	ISSUED FOR PERMIT

Keyed Color	Material Schedule	Common Name
1	1/2" X 1/2" X 1/2" WHITE	WHITE
2	1/2" X 1/2" X 1/2" BROWN	BROWN
3	1/2" X 1/2" X 1/2" BROWN	BROWN
4	1/2" X 1/2" X 1/2" BROWN	BROWN
5	1/2" X 1/2" X 1/2" BROWN	BROWN
6	1/2" X 1/2" X 1/2" BROWN	BROWN
7	1/2" X 1/2" X 1/2" BROWN	BROWN
8	1/2" X 1/2" X 1/2" BROWN	BROWN
9	1/2" X 1/2" X 1/2" BROWN	BROWN
10	1/2" X 1/2" X 1/2" BROWN	BROWN

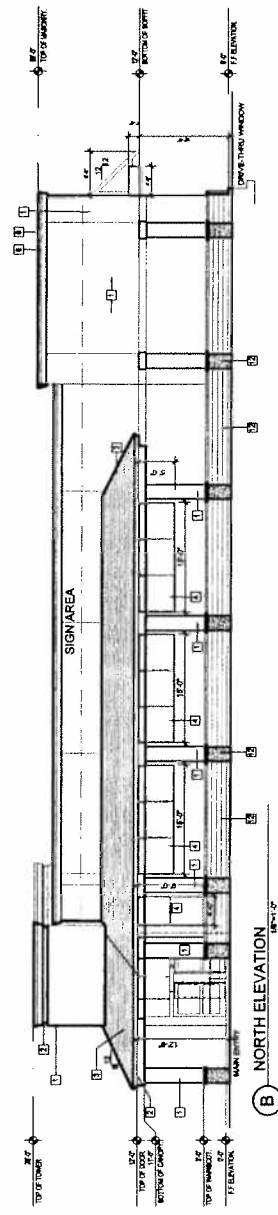


NOTES:  
1. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
2. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
3. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
4. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
5. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
6. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
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8. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.  
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10. WORK NOT TO EXCEED IN OF THE FACILITY TO WHICH IT IS APPLIED.

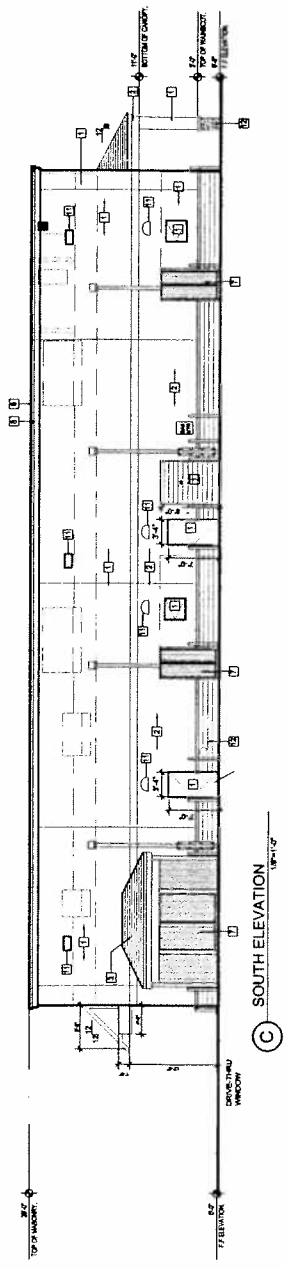
KEY PLAN



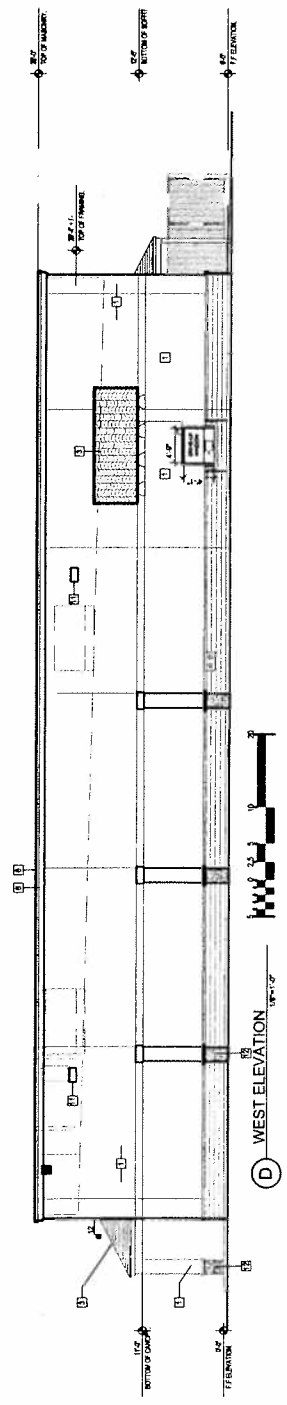
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



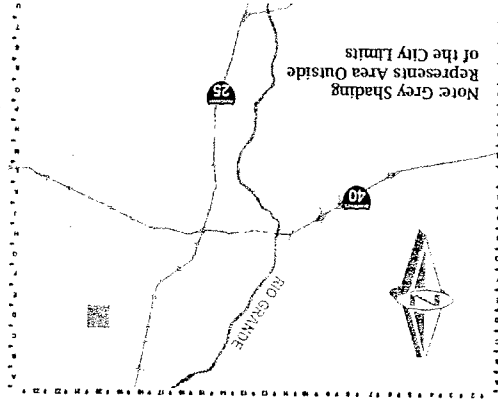
WEST ELEVATION

Albuquerque Geographic Information System



Map amended through: 3/10/2009

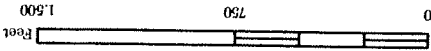
Note Grey Shading  
Represents Area Outside  
of the City Limits



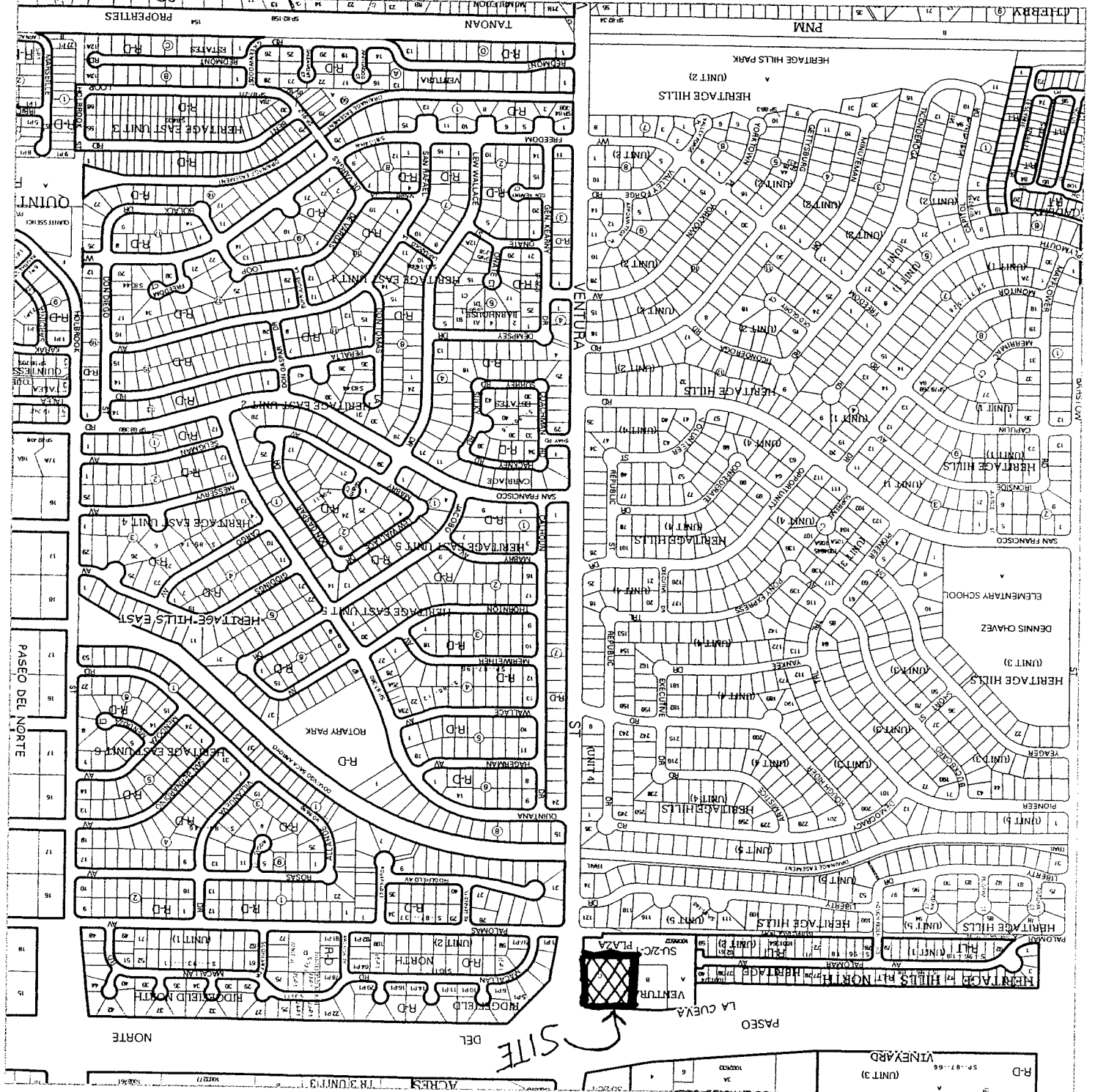
Zone Atlas Page:  
**D-20-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone
- Escarpment



For more current information and more details visit: <http://www.cabq.gov/gis>

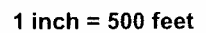


**SITE**

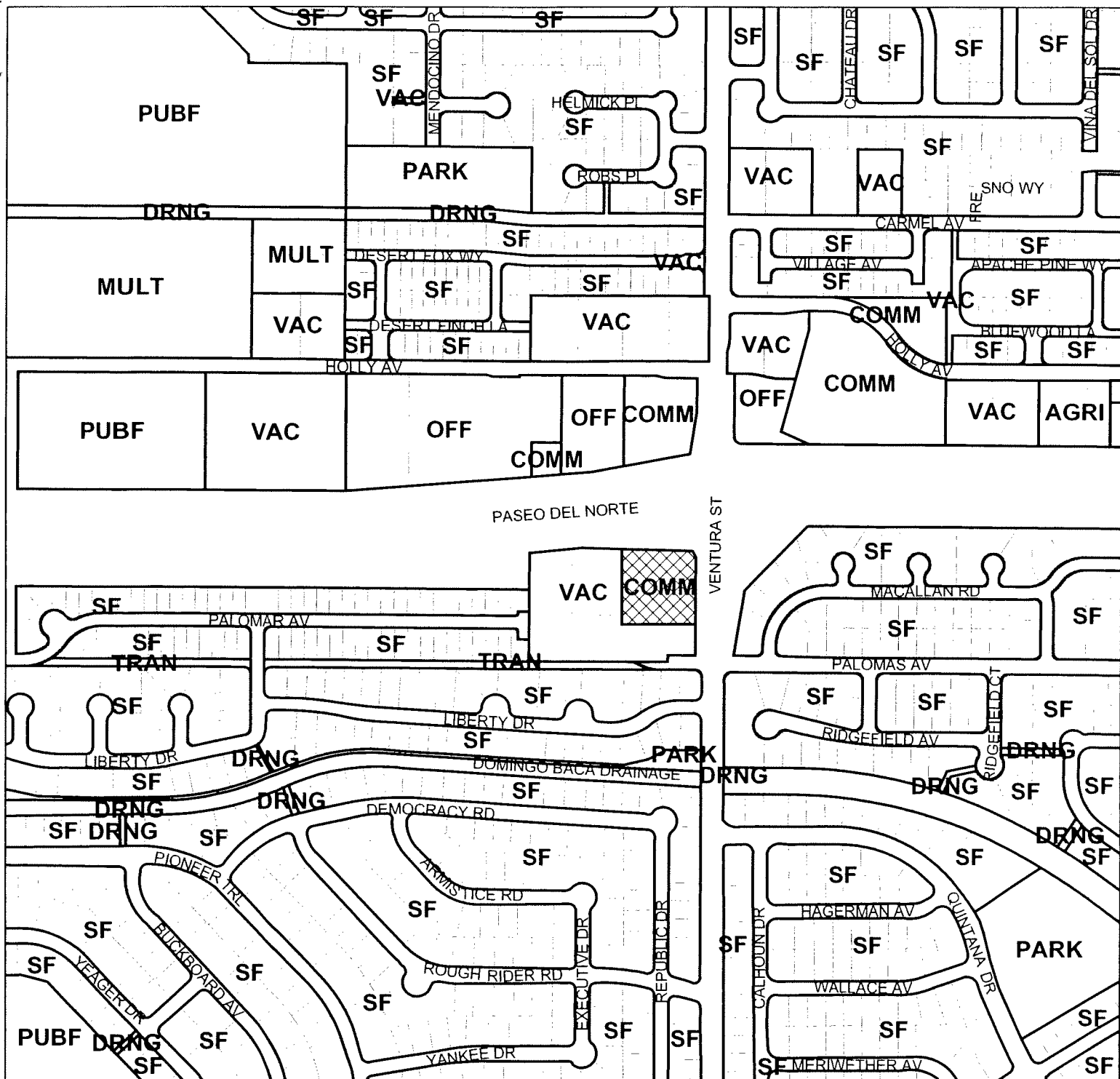




Note: Grey shading indicates County.



**Zone Map Page:D-20**  
**Additional Case Numbers:**  
**10EPC-40003**



## LAND USE MAP

Note: Grey shading  
indicates County.

### KEY to Land Use Abbreviations

AGRI Agricultural  
COMM Commercial - Retail  
DRNG Drainage  
MFG Manufacturing or Mining  
MULT Multi-Family or Group Home  
OFF Office  
PARK Park, Recreation, or Open Space  
PRKG Parking  
PUBF Public Facility  
SF Single Family  
TRAN Transportation Facility  
VAC Vacant Land or Abandoned Buildings  
WH Warehousing & Storage



1 inch = 500 feet

Project Number:

1006602

Hearing Date:

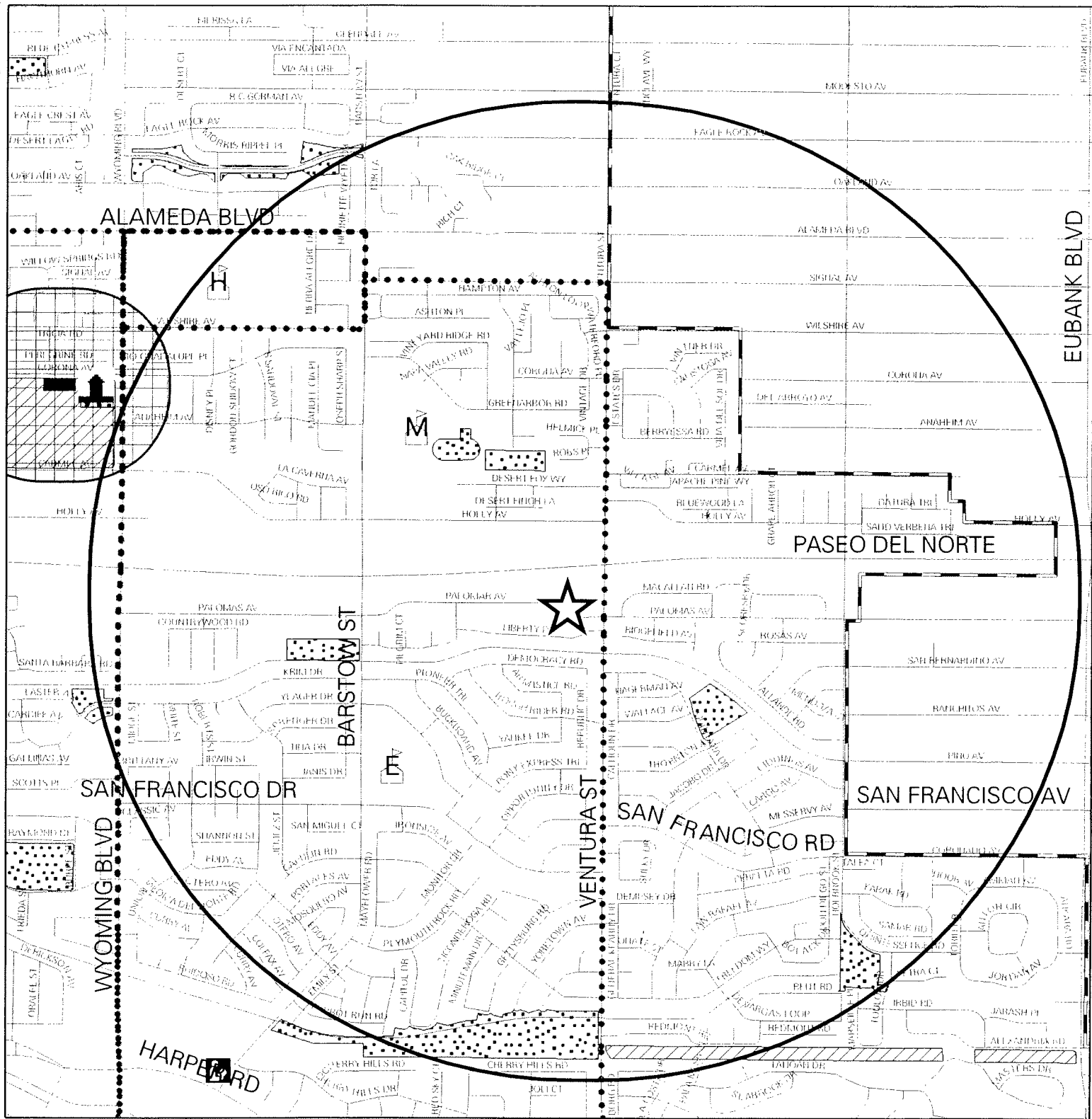
02/18/2010

Zone Map Page:D-20

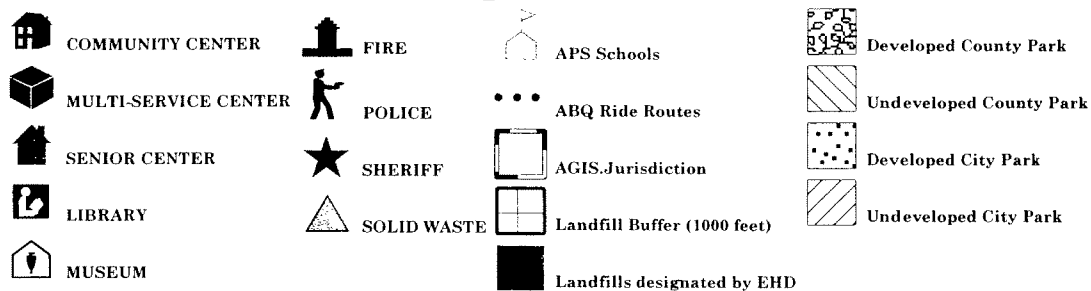
Additional Case Numbers:

10EPC-40003





## Public Facilities Map with One-Mile Site Buffer



Project Number: 1006602

0 0.5 1 Miles

